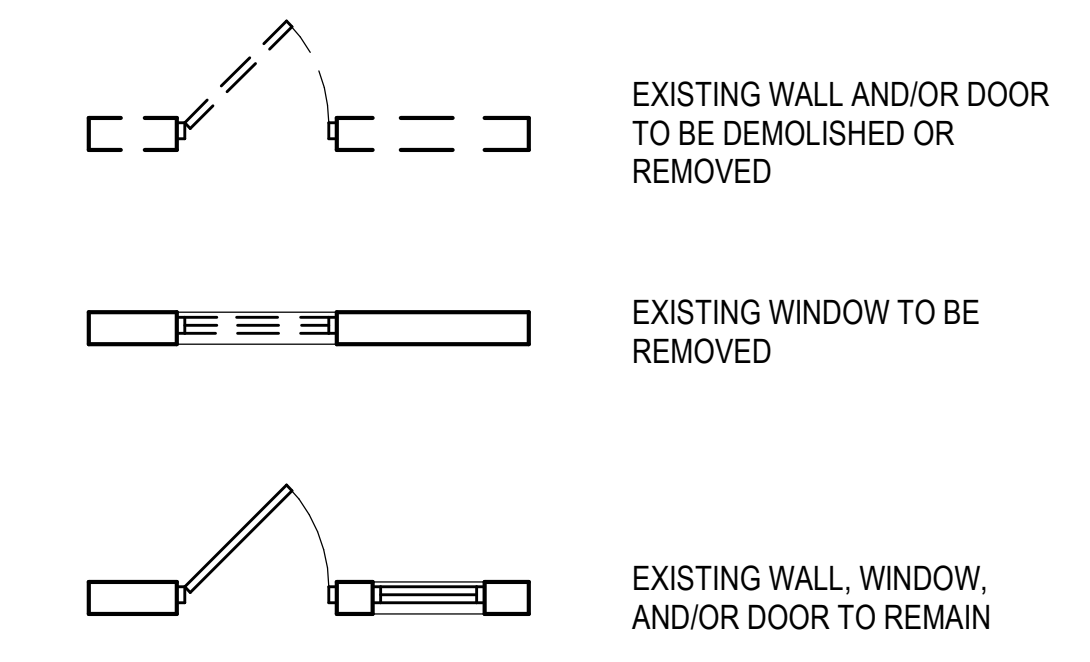
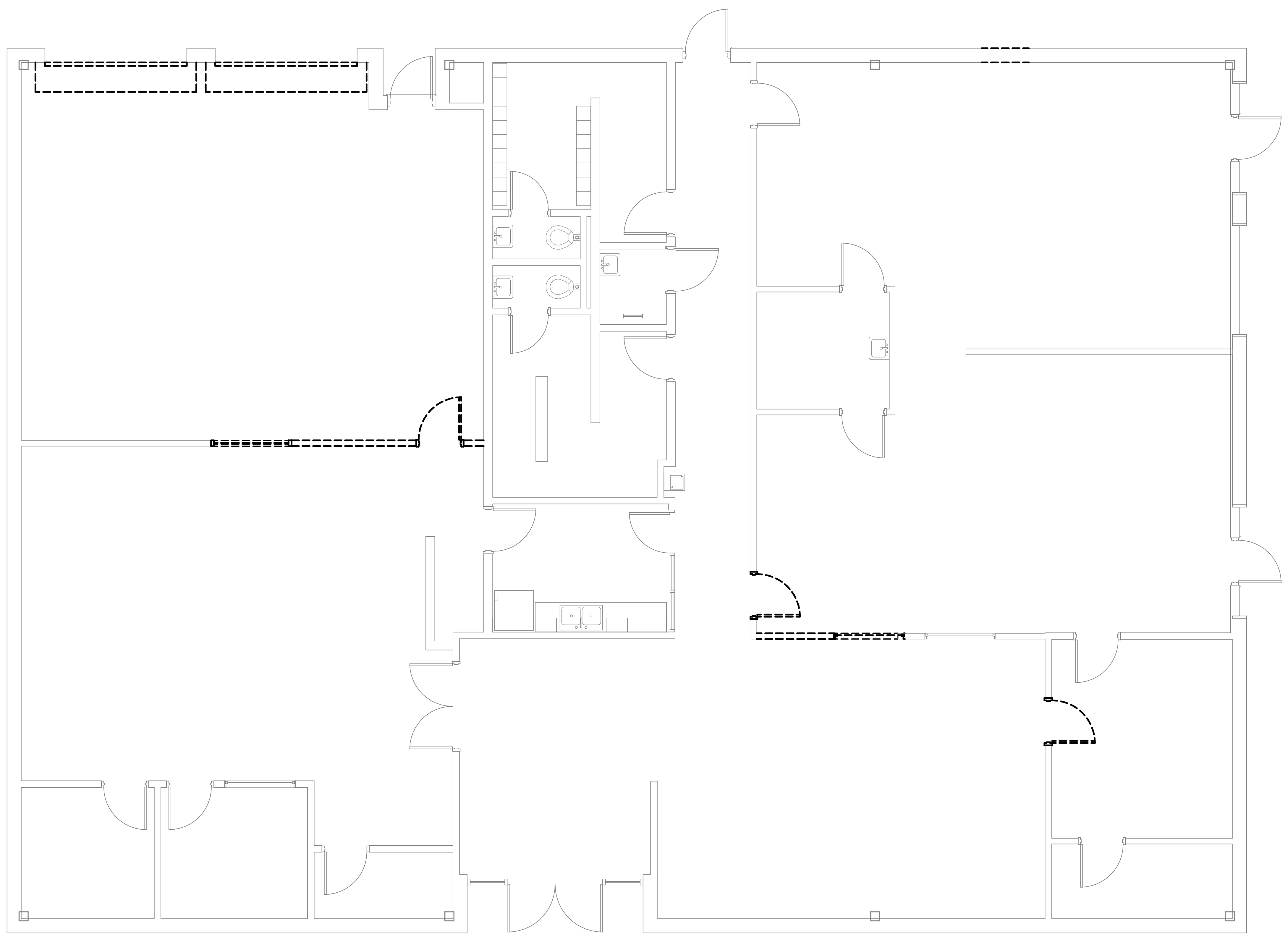


GENERAL DEMOLITION AND REPAIR NOTES

- EXISTING FINISH FLOOR REFERENCE (0'-0") UNLESS NOTED OTHERWISE.
- PLAN DIMENSIONS FOR EXISTING CONDITIONS ARE TO FACE OF MASONRY OR FINISHED FACE OF STUD PARTITION, UNLESS OTHERWISE NOTED. THICKNESSES OF MASONRY BASED ON NOMINAL SIZES. ALL DIMENSIONS SHOWN FOR EXISTING CONSTRUCTION ARE APPROXIMATE. FIELD VERIFY ALL DIMENSIONS.
- ALL DEMOLITION WORK NOTED ON THESE DRAWINGS INVOLVES THE REMOVAL OF EXISTING CONSTRUCTION UNDER THE CONTRACT, AND SHALL BE COORDINATED WITH CORRESPONDING NEW WORK FLOOR PLANS AND DETAILS. REMOVE EXISTING CONSTRUCTION AS INDICATED FOR FINISH CONSTRUCTION AND NEW WORK TO CONFORM TO THE DETAILS.
- DETAILS OF EXISTING CONDITIONS: ACTUAL FIELD CONDITIONS WHICH ARE CONCEALED BY EXISTING CONSTRUCTION MAY VARY SOMEWHAT FROM THOSE INDICATED IN DRAWINGS. ALL WORK THAT RELATES TO, OR IS IN ANY WAY AFFECTED BY, EXISTING CONDITIONS WHICH VARY FROM THOSE INDICATED SHALL BE MODIFIED AS REQUIRED BY FIELD CONDITIONS AND MEASUREMENTS. REPORT DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING W/ AFFECTED ASPECTS OF CONSTRUCTION OR DEMOLITION.
- REFER TO PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION.
- LOOSE FURNITURE, EQUIPMENT, SUPPLIES AND PERSONAL BELONGINGS LOCATED IN SPACES TO BE RENOVATED SHALL BE REMOVED AND RELOCATED BY OWNER (NIC).
- ITEMS IDENTIFIED TO BE SALVAGED ("REMOVE AND DELIVER TO OWNER") SHALL BE CAREFULLY REMOVED AND DELIVERED TO A STORAGE AREA DESIGNATED BY THE OWNER FOR THIS PURPOSE. ITEMS OWNER CHOOSES TO RETAIN SHALL BE RELOCATED FROM THE STORAGE AREA BY OWNER (NIC).
- LIMITS INDICATED FOR DEMOLITION OF EXISTING BRICK AND CMU MASONRY ARE APPROXIMATE. REMOVE MASONRY UNITS TO NEAREST MORTAR JOINTS TO PERMIT "TOOTHING IN" OF NEW MASONRY TO EXISTING COURSING.
- REFER TO MECHANICAL DRAWINGS FOR REMOVAL OF THRU-WALL MECHANICAL GRILLES, REGISTERS AND DUCTWORK. AT MASONRY WALLS REMOVE BRICK AND CMU TO NEAREST MORTAR JOINTS TO PERMIT "TOOTHING IN" OF INFILL MASONRY TO MATCH EXISTING COURSING.
- PREPARE FLOOR FOR NEW FINISHES SCHEDULED IN ACCORDANCE WITH MFR'S RECOMMENDATIONS FOR FINISH SUBSTRATE. FILL VOIDS AND CRACKS IN CONCRETE W/ SECTION 03300 REQUIREMENTS FOR CONCRETE REPAIR AS WELL AS SPEC SECTIONS FOR APPLIED FINISHES.
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- REFER TO GENERAL NOTES ON SHEET A101.
- PREPARE EXISTING WALLS FOR INSTALLATION OF WALL MOUNTED ELECTRICAL AND DATA RACEWAYS WHERE SCHEDULED. COORDINATE W/ NEW WORK REQUIREMENTS AND ELECTRICAL PLANS.



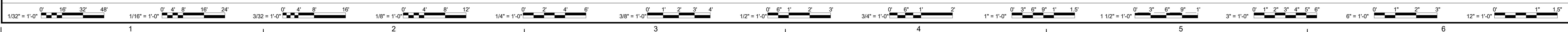
DEMO/NEW LEGEND

SCALE: 1/4" = 1'-0"

KEY NOTES (APPLIES TO SHEETS A101 AND A102)

- 1 NOTE
- 2 NOTE
- 3 NOTE

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AD-101 SCALE: 1/4" = 1'-0"



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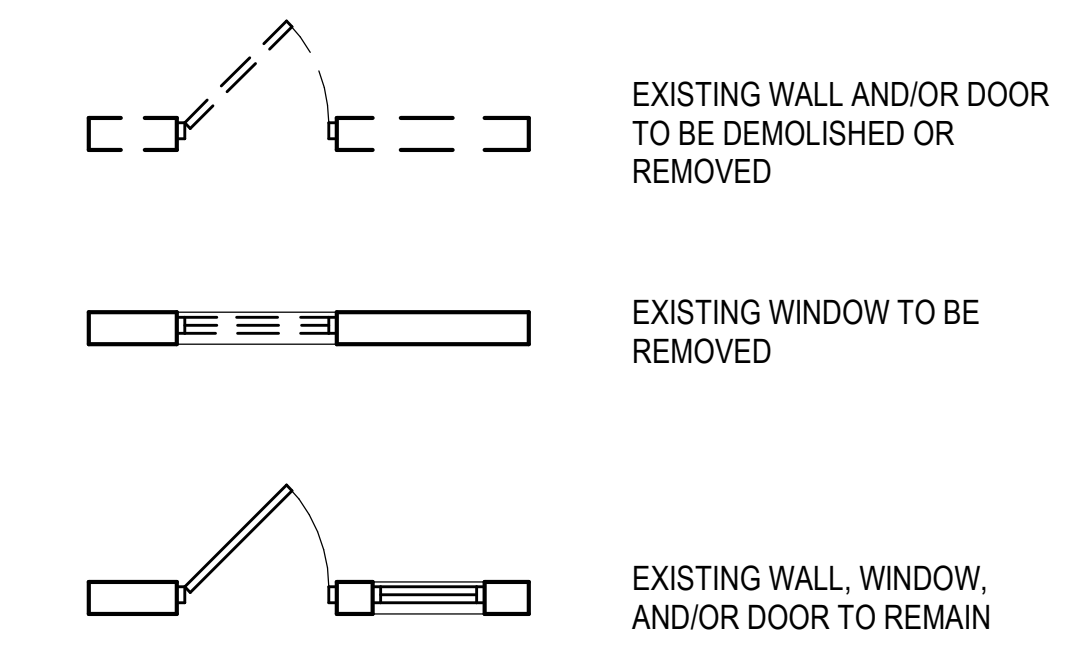
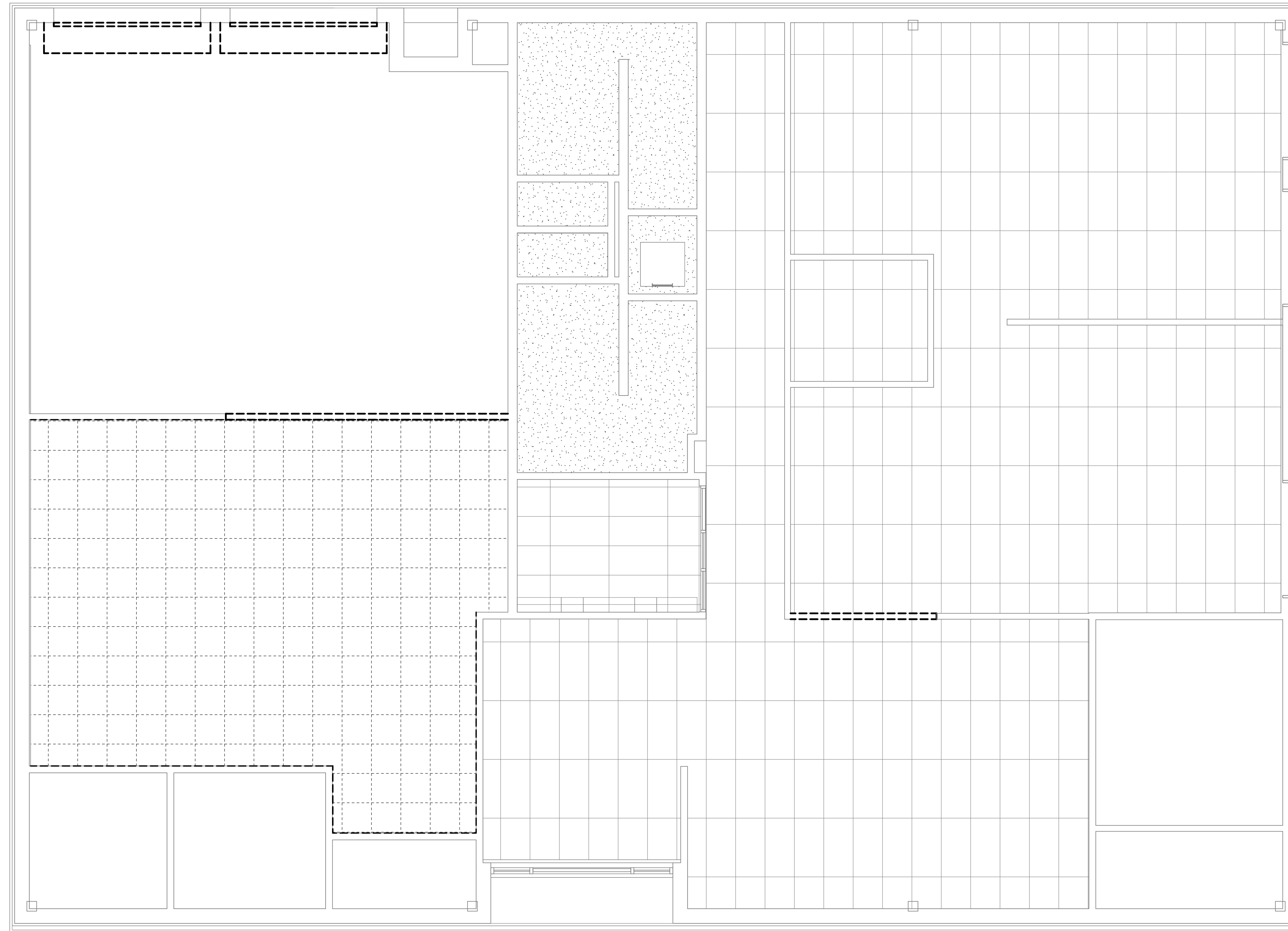


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PROJECT NAME
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OVERALL DEMOLITION PLANS AND DEMO NOTES

SHEET
AD-101

GENERAL DEMOLITION AND REPAIR NOTES

- EXISTING FINISH FLOOR REFERENCE (0'-0") UNLESS NOTED OTHERWISE.
- PLAN DIMENSIONS FOR EXISTING CONDITIONS ARE TO FACE OF MASONRY OR FINISHED FACE OF STUD PARTITION, UNLESS OTHERWISE NOTED. THICKNESSES OF MASONRY BASED ON NOMINAL SIZES. ALL DIMENSIONS SHOWN FOR EXISTING CONSTRUCTION ARE APPROXIMATE. FIELD VERIFY ALL DIMENSIONS.
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DEMO/NEW LEGEND
SCALE: 1/4" = 1'-0"

KEY NOTES (APPLIES TO SHEETS A101 AND A102)

- 1 NOTE
- 2 NOTE
- 3 NOTE

01-FIRST FLOOR CEILING - demo
AD-102 SCALE: 1/4" = 1'-0"

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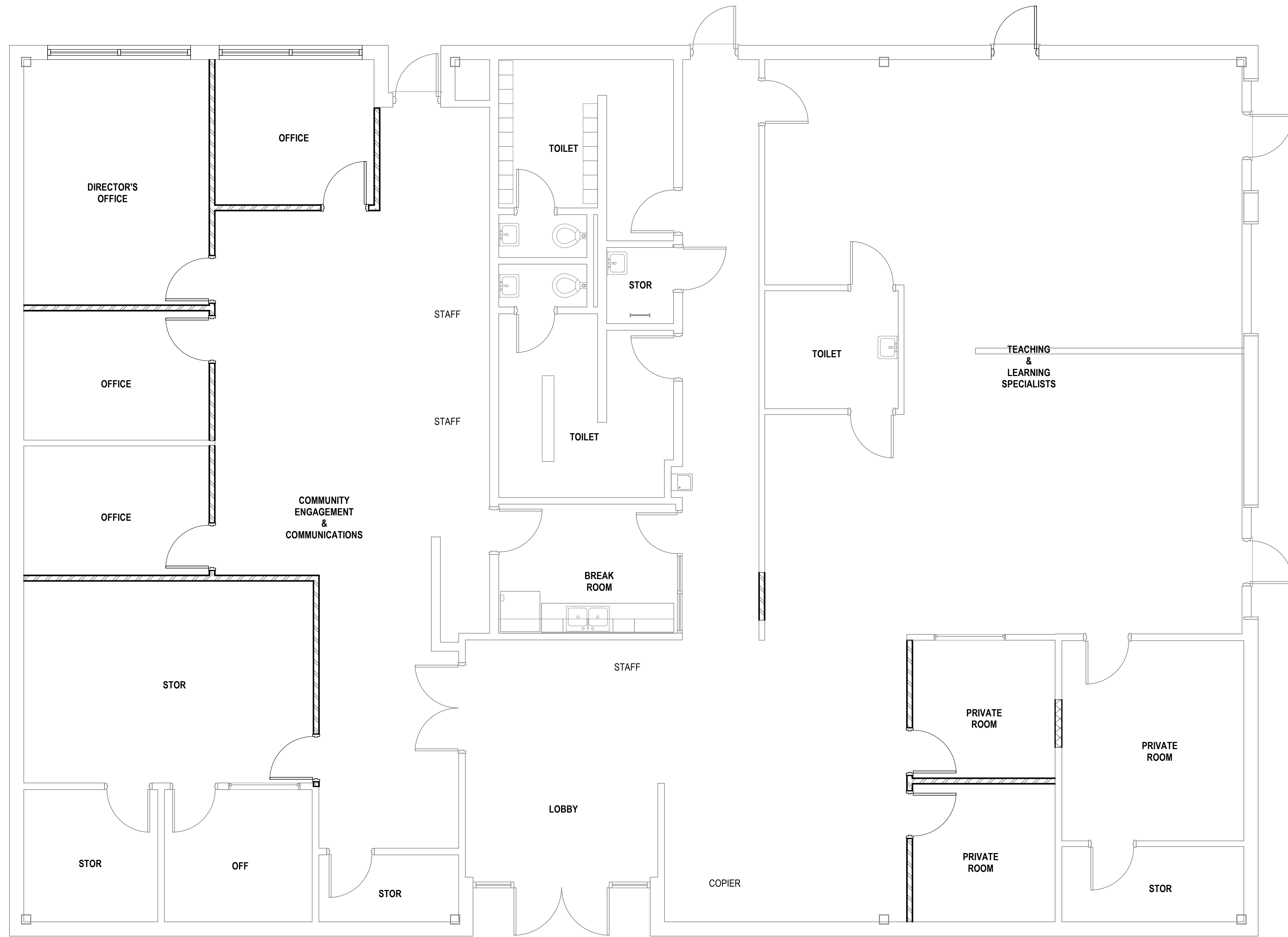
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DRAWING: **OVERALL DEMOLITION REFLECTED CEILING PLAN**

SHEET
AD-102



TOILET ACCESSORY SCHEDULE			
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01-FIRST FLOOR - new

SCALE: 1/4" = 1'-0"

GENERAL NOTES - OVERALL PLANS

- G1. UNLESS OTHERWISE NOTED, ALL FLOOR PLAN DIMENSIONS ARE TO FACE OF MASONRY, FACE OF STUD, OR STRUCTURAL COLUMN GRID. REFER TO PARTITION TYPES FOR PARTITION DIMENSIONS, TYPICAL DETAILS, AND ADDITIONAL PARTITION NOTES.
- G2. WHERE A PARTICULAR DETAIL OR CONDITION OCCURS IN SEVERAL LOCATIONS, SPECIFIC DETAIL REFERENCES MAY NOT APPEAR ON THE DRAWINGS IN EACH AND EVERY CASE. THE DRAWINGS INFER THAT THE DETAIL REFERENCE WILL APPLY WITHOUT HAVING A SPECIFIC REFERENCE AT EACH OCCURRENCE. IF A CONDITION IS IN DOUBT, REFER QUESTIONS TO THE ARCHITECT FOR CLARIFICATION.
- G3. VERIFY DIMENSIONS REQUIRED FOR ALL SLOTS, CHASES, OPENINGS, AND RECESSES THROUGH FLOORS, WALLS, CEILINGS, AND ROOFS REQUIRED FOR PROPER INSTALLATION OF THE WORK PRIOR TO CONSTRUCTION.
- G4. PARTITION TERMINATION INFORMATION IS INDICATED ON THE REFLECTED CEILING PLANS AND PARTITION TYPES.
- G5. REFER TO ENLARGED PLANS FOR ADDITIONAL DIMENSIONS, PARTITION TYPES, AND OTHER INFORMATION THAT MAY NOT APPEAR ON THE OVERALL PLANS.
- G6. THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND EXAMINE ALL STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL DOCUMENTS. MUCH OF THE INFORMATION IS NOT REPEATED OR SHOWN IN THE ARCHITECTURAL DOCUMENTS.
- G7. ALL WOOD BLOCKING IN CONTACT WITH MASONRY SHALL BE PRESERVATIVE PRESSURE TREATED U.O.N.
- G8. CLEAN ALL NEW AND EXISTING BRICK VENEER SURFACES AFTER NEW WORK IS COMPLETED WITH MANUFACTURER'S RECOMMENDED CHEMICAL CLEANER AND LOW PRESSURE POWER WASHING.
- G9. REFER TO DEMOLITION DRAWINGS FOR FLOOR AND WALL CUTS, INFILLS, NOTES, AND DETAILS.
- G10. PATCH AND REPAIR ALL EXISTING CONCRETE FLOOR SLABS DAMAGED BY DEMOLITION OPERATIONS, (SUCH AS EXISTING PLUMBING, PIPING, AND ELECTRICAL CONDUIT ABANDONED BELOW FLOOR OR NEW UTILITIES INSTALLED UNDER EXISTING FLOOR) WITH CONCRETE TO MATCH EXISTING. FINISH FLUSH WITH ADJACENT SURFACE.
- G11. AFTER REMOVAL OF EXISTING FLOOR COVERING, USE LEVELING AND PATCHING COMPOUND(S) TO CORRECT SURFACE IRREGULARITIES PRIOR TO INSTALLATION OF NEW FLOOR FINISHES.
- G12. PATCH AND REPAIR ALL EXISTING CMU WALL SURFACES DAMAGED BY DEMOLITION OPERATIONS, (INCLUDING INTERSECTING WALLS, APPLIED FINISHES, OR WALL MOUNTED ACCESSORIES OR EQUIPMENT) AND WHICH WILL BE EXPOSED IN FINAL CONSTRUCTION WITH MORTAR TO PROVIDE UNIFORM WALL SURFACE FREE OF IRREGULARITIES. WHERE ACCEPTABLE PATCH CANNOT BE ATTAINED WITH MORTAR, CUT OUT EXISTING CMU ALONG JOINT LINES AND PROVIDE NEW CMU "SOAPS" AS NEEDED.
- G13. WHERE REMOVAL OF WALL MOUNTED ITEMS RESULTS IN EDGED OF PAINT "BUILD-UP" VISIBLE IN FINAL NEW WORK, CAREFULLY REMOVE "BUILD-UP" TO PROVIDE "LINE NEW" CONDITION.
- G14. ALL DIMENSIONS SHOWN FOR EXISTING CONSTRUCTION ARE APPROXIMATE. FIELD VERIFY ALL DIMENSIONS.
- G15. DETAILS OF EXISTING CONDITIONS: ACTUAL FIELD CONDITIONS WHICH ARE CONCEALED BY EXISTING CONSTRUCTION MAY VARY FROM THOSE INDICATED IN THE DRAWINGS. ALL WORK THAT RELATED TO, OR IS IN ANY WAY AFFECTED BY, EXISTING CONDITIONS WHICH VARY FROM THOSE INDICATED SHALL BE MODIFIED AS REQUIRED BY FIELD CONDITIONS AND MEASUREMENTS. REPORT DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH AFFECTED ASPECTS OF CONSTRUCTION OR DEMOLITION.
- G16. PREPARE FINISH FLOOR SUBSTRATE FOR NEW FINISHES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

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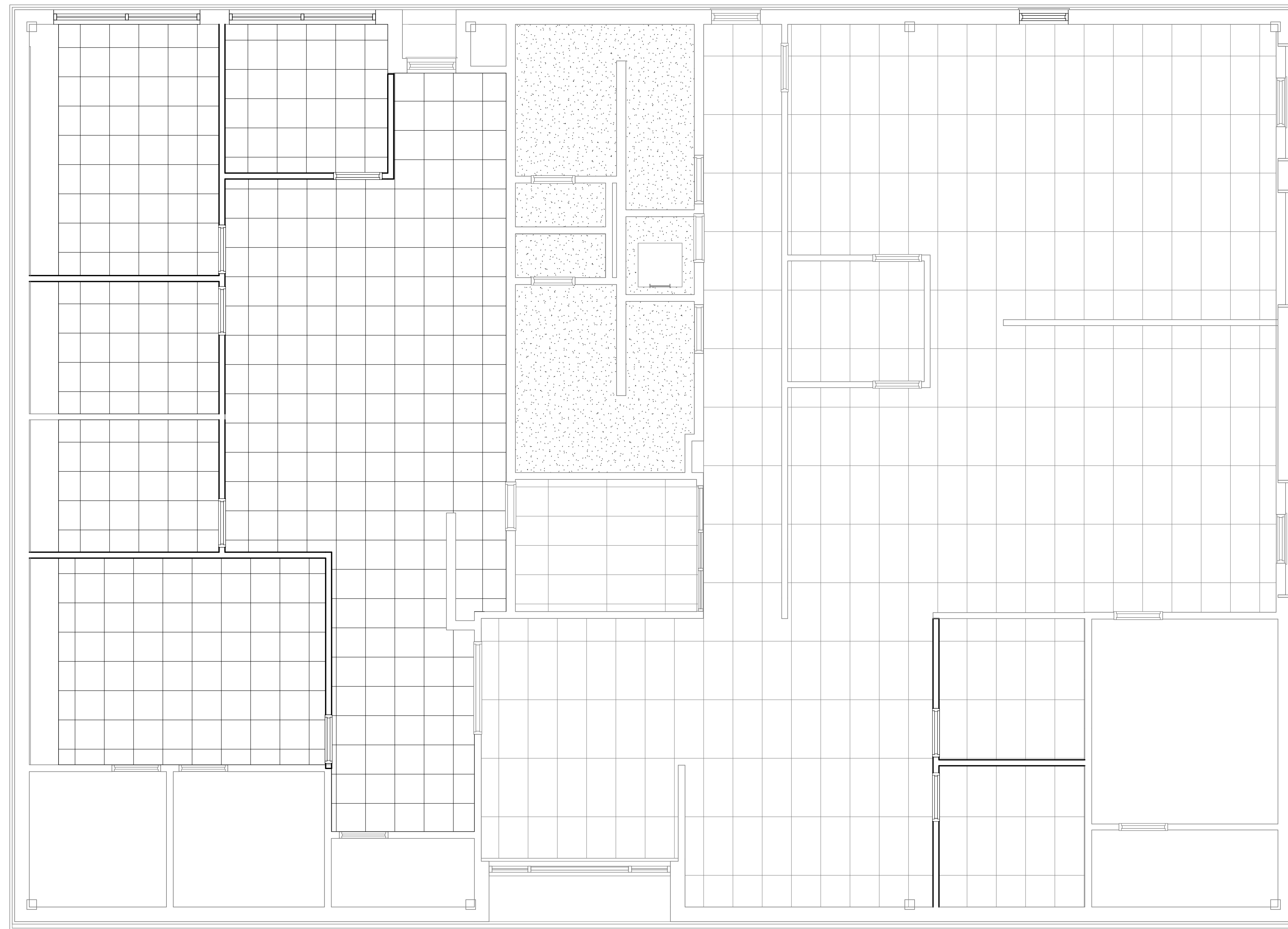
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PROJECT OVERALL FLOOR PLAN

SHEET
A-101

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REFLECTED CEILING PLAN LEGEND

	GYPSUM BOARD CEILING OR BULKHEAD		DOWN LIGHT
	2'-0" x 2'-0" LAY-IN ACOUSTICAL TILE CEILING IN SUSPENDED GRID		CEILING PROJECTOR MOUNT
	2'-0" x 4'-0" LAY-IN ACOUSTICAL TILE CEILING IN SUSPENDED GRID		SUPPLY DIFFUSER
	ACOUSTICAL BATT INSULATION ON TOP OF DROP CEILING. KEEP INSULATION CLEAR OF ALL LIGHT FIXTURES		RETURN AIR GRILLE
	EXIT LIGHT	+X'-X"	CEILING HEIGHT
	EXIT LIGHT		WIRELESS ACCESS DEVICE - REF ELECTRICAL DWGS
	TRACK LIGHT, NUMBER INDICATES LENGTH IN FEET		OCCUPANCY SENSOR - REF ELECTRICAL DWGS
	EXIT LIGHT		CEILING SPEAKER - REF ELECTRICAL DWGS
	EXIT LIGHT		
	EXIT LIGHT		

PARTITION TERMINATION LEGEND

	PARTITION WHICH PENETRATES THE CLG & TERMINATES 4" ABOVE FINISHED CLG. UON
	PARTITION WHICH CONTINUES THROUGH CLG TO BOTTOM OF ROOF DECK ABV (UNLESS NOTED OTHERWISE). AT GYP BD PARTITION PROVIDE BATT INSUL IN VOIDS IN DECK FOR SOUND TRANSMISSION BLOCKING OR CONT SEALANT. REF PARTITION TYPE LEGEND ON A-0.1 FOR ADDITIONAL INFORMATION.

REF CLG PLAN GENERAL NOTES

- REFER TO FLOOR PLANS AND WALL SECTIONS FOR ADDITIONAL INFORMATION.
- REFER TO ELECTRICAL LIGHTING PLANS FOR WALL MOUNTED AND UNDER-CABINET FIXTURES NOT INDICATED.
- SPRINKLER HEADS (NOT INDICATED) TO BE CENTERED IN ACP OR W/ IN SPACE IN GYP. BD CLG.
- REFER TO MECH. AND ELEC DRAWINGS FOR CEILING-MOUNTED FIXTURE TYPES & DIFFUSER LOCATIONS. NOTIFY ARCHITECT (PRIOR TO INSTALLATION) OF CONFLICTS WITH LOCATIONS INDICATED ON DRAWINGS. ADDITIONAL FIXTURES OR OTHER CEILING MATERIALS SHOWN ON ELECTRICAL OR MECHANICAL DRAWINGS BUT NOT SHOWN ON RCP'S ARE INCLUDED IN THE BASE BID.
- SUPPLY AND DIFFUSER GRILLES ARE INDICATED DIAGRAMMATICALLY IN RCP FOR LOCATION ONLY. REFER TO MECHANICAL DWG'S FOR ACTUAL SIZE AND TYPE TO BE PROVIDED.
- 24"x24" ACOUSTICAL CEILING PANELS (ACP) WILL BE THOUGHOUT.
- REFER TO ELECTRICAL DWGS FOR LIGHTING LAYOUTS IN MECHANICAL MEZZANINES.
- REFER TO DETAIL AXXX FOR TYPICAL PARTITION TERMINATIONS AT STRUCTURAL ELEMENTS WITH ALL EXTENSIONS OF FINISHES & SOUND ATTEN.

REFLECTED CEILING PLAN KEY NOTES

- NOTE
- NOTE
- NOTE

1 01-FIRST FLOOR CEILING - new
A-102 SCALE: 1/4" = 1'-0"



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DRAWING OVERALL REFLECTED CEILING PLAN